

The Walpoles

Design Guidance and Codes

Draft report

February 2023

Quality information

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Revision History

Issue no.	Issue date	Details	Issued by	Position
1	02/02/23	Issue for comment to Katie Evans, Collective Community Planning and Paul Cotton, Walpole Parish Council.	James Dee	Principal Landscape Architect
0	05/01/23	Issue for comment to Katie Evans, Collective Community Planning and Paul Cotton, Walpole Parish Council.	James Dee	Principal Landscape Architect

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Introduction

01



1. Introduction

Through the Government's Neighbourhood Planning Programme led by Locality, AECOM was commissioned to provide design support to Walpole Parish Council which is the Neighbourhood Area. The document forms part of the development of a Neighbourhood Plan.

1.1 Objectives

The main objective of this document is to establish principles so that new development is designed and planned with regard to the existing character and context of Walpole. It sets out a series of Design Codes related to future development.

Design Codes inform development proposals to provide guidance and clarity on design and reflect local character and preferences. Design Codes exist to provide a framework for creating high quality places with high quality design standards, particularly for new developments. This Design Code is tailored to Walpole's Neighbourhood Area and as such, is specific to the character of the place and views and aspirations of the local community.

A Design Code is one of a number of tools used by a local authority to make planning decisions. The document sets out design requirements in a simple and concise way and should be referred to in the development application process.

The Government is placing significant importance on the development of Design Codes in order to set standards for design upfront and provide firm guidance on how sites should be developed. It is intended that this report becomes an integral part of the Neighbourhood Plan and should be given weight in the planning process. The Government intends to make it clear that decisions on design should be made in line with Design Codes.

The Government's Planning Policy Guidance (Ref. 1) defines Design Codes as:

'... a set of illustrated design requirements that provide specific, detailed parameters for the physical development of a site or area. The graphic and written components of the code should be proportionate and build upon a design vision, such as a masterplan or other design and development framework for a site'

1.2. The Importance of Good Design

As the National Planning Policy Framework (NPPF) (Ref. 2) notes, *'good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities'* (Paragraph 126).

Research, such as for the Government's Commission for Architecture and the Built Environment (now part of the Design Council; see, for example, The Value of Good Design (Ref. 3) has shown that good design of buildings and places can improve health and well-being, increase civic pride and cultural activity, reduce crime and anti-social behavior and reduce pollution.

This document seeks to harness an understanding of how good design can make future development as endearingly popular as the best of what has been done before.

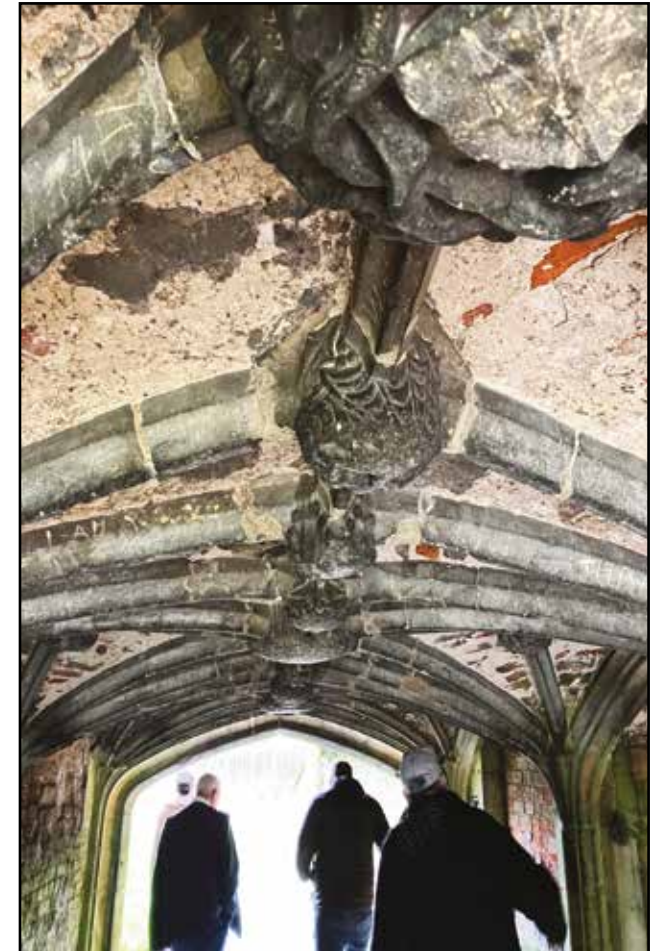
Following an analysis of the Neighbourhood Area and good practice, those elements of good design are set out clearly as Design Codes which any development within Walpole Neighbourhood Area should follow in order to comply with this document.

1.3 Delivery

The Design Codes will be a valuable tool in securing context driven, high quality development. They will be used in different ways by different actors in the planning and development process, as summarised in Table 1.

Table 01: Delivery of the Design Codes

Actors	How they will use the design guidelines
Applicants, developers, & landowners	As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the Design Codes as planning consent is sought.
Local Planning Authority	As a reference point, embedded in policy, against which to assess planning applications. The Design Codes should be discussed with applicants during any pre-application discussions.
Parish Council	As a guide when commenting on planning applications, ensuring that the Design Codes are complied with.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.



F.1: St. Peter's Church, Walpole St. Peter. (Photo © AECOM 2022)

The Design Codes herein constitute place making principles and guidance to help interpret and apply the statutory policies within the Neighbourhood Plan. Good design is not an additional cost to development and good place-making can result in uplifts in value.

The Design Codes set out in this document and within the Neighbourhood Plan's policies are aligned with national policy and non-statutory best practice on design.

1.4 General Design Considerations

Below are some general design principles against which new development proposals should be evaluated. As an initial appraisal, there should be evidence that development proposals have considered and applied the following:

- Reflect and enhance existing character in terms of physical form, movement pattern and land use.
- Identify and strengthen local identity e.g. through architectural details in terms of scale, height, form and massing.

- Relate well to local topography, landscape features, open space and the wider landscape context, including key views, setting, approaches and the semi urban edges.
- Create positive local identity through the use of contextually appropriate materials and details.
- Provide an overall enhanced first impression as a place to new visitors; through a choice of boundary treatments that reflect, respect and reinforce local architecture and rural distinctiveness.

- Encourage variety within certain parameters to add to interest and create a sense of place.
- Create good public spaces – streets defined by buildings (not just by route of road).
- Ensure the character e.g. buildings, landscape, access routes, parking and pedestrian movement enclosure, green infrastructure, parking and open spaces are well related to each other, to provide a safe, attractive and cohesive environment.
- Define spaces – boundary treatments, setbacks, privacy.

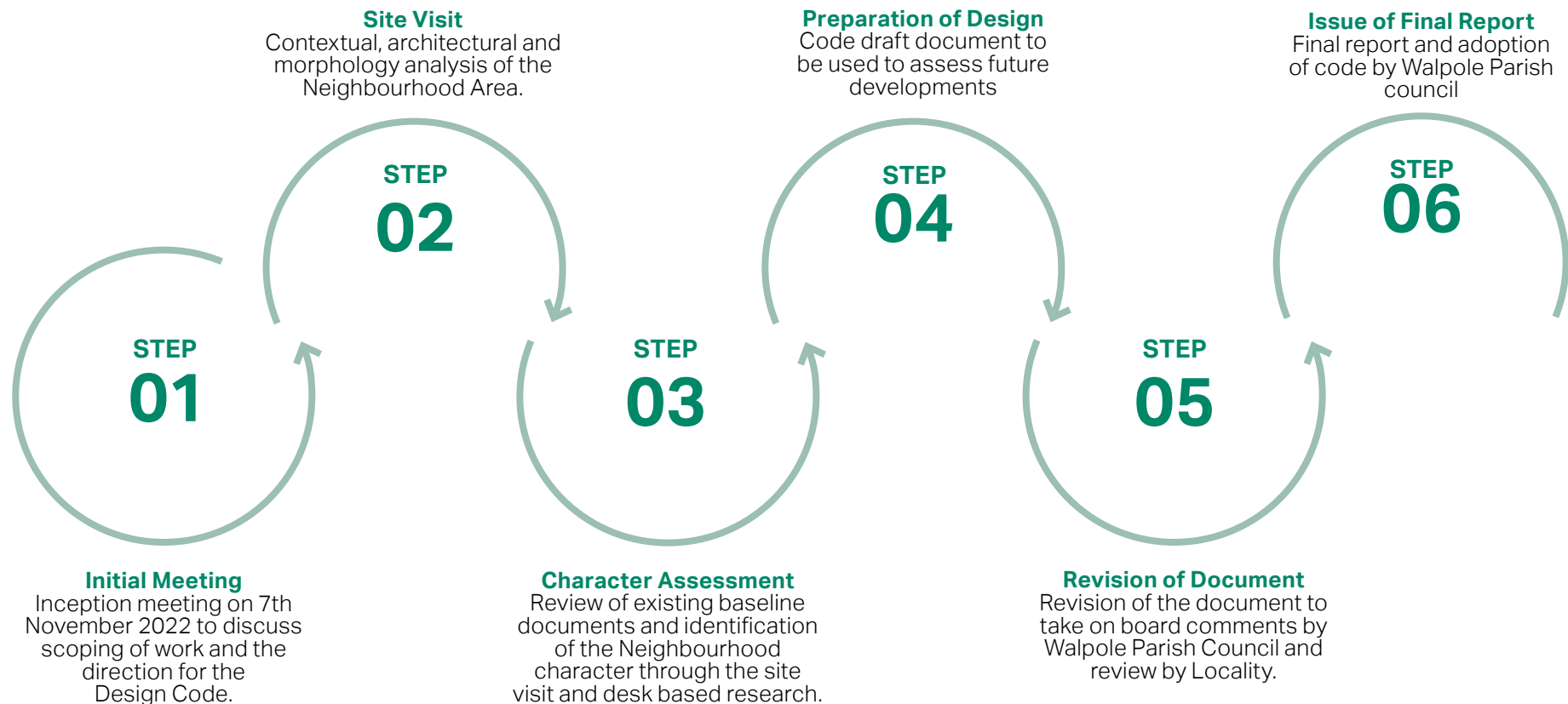


F.2: Cottage viewed through an avenue of trees, Walpole. (Photo © AECOM 2022)

1.5 Preparing the Design Code

In preparing this Design Code a number of steps have been followed to involve Walpole Parish Council in the process and ensure their local knowledge has helped to inform the context and content of the Design Code, and to ensure the Design Code meets relevant policy standards.

The following steps were undertaken to produce this document which included an initial meeting with two members from the town council, a site visit, character assessment, a review of existing baseline documents, preparation of Design Code draft document a revision of the document to take on board comments by Walpole Parish Council, review by Locality and issue of the final report.



1.6 Policy and Design Guidance

The following documents have informed this Design Code. These have been produced at a national, district or parish level. Any new development application should be familiar with these documents and make explicit reference to how each of them is taken into account in the design proposals.

NATIONAL LEVEL

2021 National Planning Policy Framework

Department of Leveling Up, Housing and Communities (DLUHC)

Development needs to consider national level planning policy guidance as set out in the National Planning Policy Framework (NPPF) and the National Planning Policy Guidance (NPPG). In particular, NPPF Chapter 12: Achieving well-designed places stresses the creation of high-quality buildings and places as being fundamental to what the planning and development process should achieve. It sets out a number of principles that planning policies and decisions should consider ensuring that new developments are well-designed and focus on quality.



2021 National Model Design Code (DLUHC)

This report provides detailed guidance on the production of Design Codes, guides and policies to promote successful design. It expands on 10 characteristics of good design set out in the



National Design Guide. This guide should be used as reference for new development.

2020 Building for a Healthy Life Homes England

Building for a Healthy Life (BHL) is the new (2020) name for Building for Life, the government-endorsed industry standard for well-designed homes and neighbourhood. The new name reflects the crucial role that the built environment has in promoting wellbeing. The BHL toolkit sets out principles to help guide discussions on planning applications and to help local planning authorities to assess the quality of proposed (and completed) developments, but can also provide useful prompts and questions for planning applicants to consider during the different stages of the design process.



2021 National Design Guide (DLUHC)

The National Design Guide (Ministry of Housing, Communities and Local Government, 2019) illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice.



2007 Manual for Streets Department for Transport

Development is expected to respond positively to the Manual for Streets, the Government's guidance on how to design, construct, adopt and maintain new and existing residential streets. It promotes streets and wider development that avoid car dominated layouts but that do place the needs of pedestrians and cyclists first.

DISTRICT LEVEL

2016 King's Lynn and West Norfolk Borough - Site Allocations and Development Policies Plan

This planning document contains a set of policies and plans that will guide future planning whilst identifying where development will take place. It also allocates major sites and locations for development to meet the needs of the growing population whilst determining how the environment of the borough will be protected and enhanced to ensure that North West Norfolk retains its natural beauty.



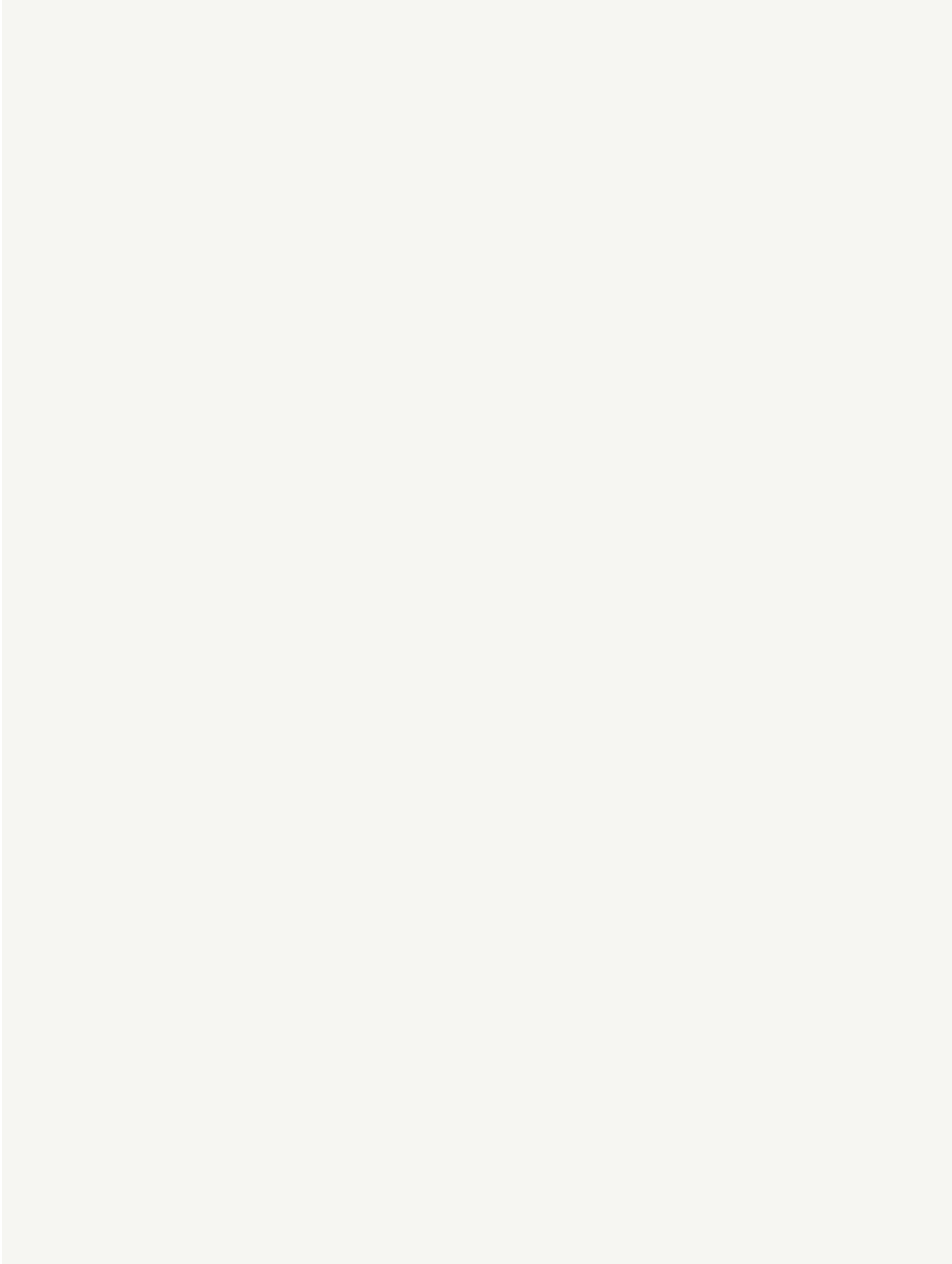
2011 King's Lynn and West Norfolk Borough - Local Development Framework - Core Strategy

The Core Strategy sets out the spatial planning framework for the development of the borough up to 2026 and is part of King's Lynn and West Norfolk's Local Development Framework. The Core Strategy provides guidance on the scale and location of future development for the next 15 years.



2007 King's Lynn and West Norfolk Borough - Landscape Character Assessment

This study provides a baseline inventory of variations in landscape character across the Borough, and outlines guidance for conserving, enhancing and/or restoring locally distinctive landscape characteristics.



1.7. Glossary of Terms

The following list is a glossary of key terms used within this document and their definition in relation to this specific design code.

Green Infrastructure (GI)

A network of natural or semi-natural landscape features, open spaces, public rights of way and watercourses which deliver social and environmental benefits.

Landscape Character

Distinct and recognisable elements within a landscape area which make it unique and different from another area.

Local Landscape Character Area (LLCA)

Geographical areas which exhibit the same landscape character at a local level.

Neighbourhood Area

The Neighbourhood Area, comprising all land within the Neighbourhood Plan boundary.

Open Space

Spaces which are deemed to have community significance in terms of recreation or visual amenity.

SuDS

Sustainable drainage systems (SuDS). SuDS are designed to manage storm water as close as possible to its source. They imitate natural drainage solutions that encourage filtration, attenuation and passive treatment. Good practice SuDS involve a management train which use a series of SuDS components to filter the excess run off water to a final destination point.

Typology

A particular type of feature or element.

Visual Amenity

Views and surroundings which create a backdrop to an area.

Context

02



2. Context

This section outlines the broad physical, historical and contextual characteristics of Walpole Neighbourhood Area.

2.1. Location and Area of Study

Walpole is a civil parish in Norfolk, falling within the district of Kings Lynn it encompasses the villages of Walpole St. Peter and Walpole St. Andrew, and the hamlet of Walpole Marsh. The area has been settled since Roman times and is referred to in the Domesday Book. The population of Walpole according to the 2011 census is 1,804 residents in 719 households the latest available data set for the area. The villages are located roughly half way between King's Lynn and Wisbech, and on the borders of Norfolk, Cambridgeshire and Lincolnshire. The Neighbourhood Area sits in a triangle of three main roads:

- To the north, is the A17 which connects Walpole to King's Lynn to the east and Long Sutton and Holbeach to the west.
- To the south-east is the A47 which connects

Walpole to Wisbech and Peterborough to the south.

- To the west, the A1101 which connects Walpole to Long Sutton to the north and Wisbech to the south

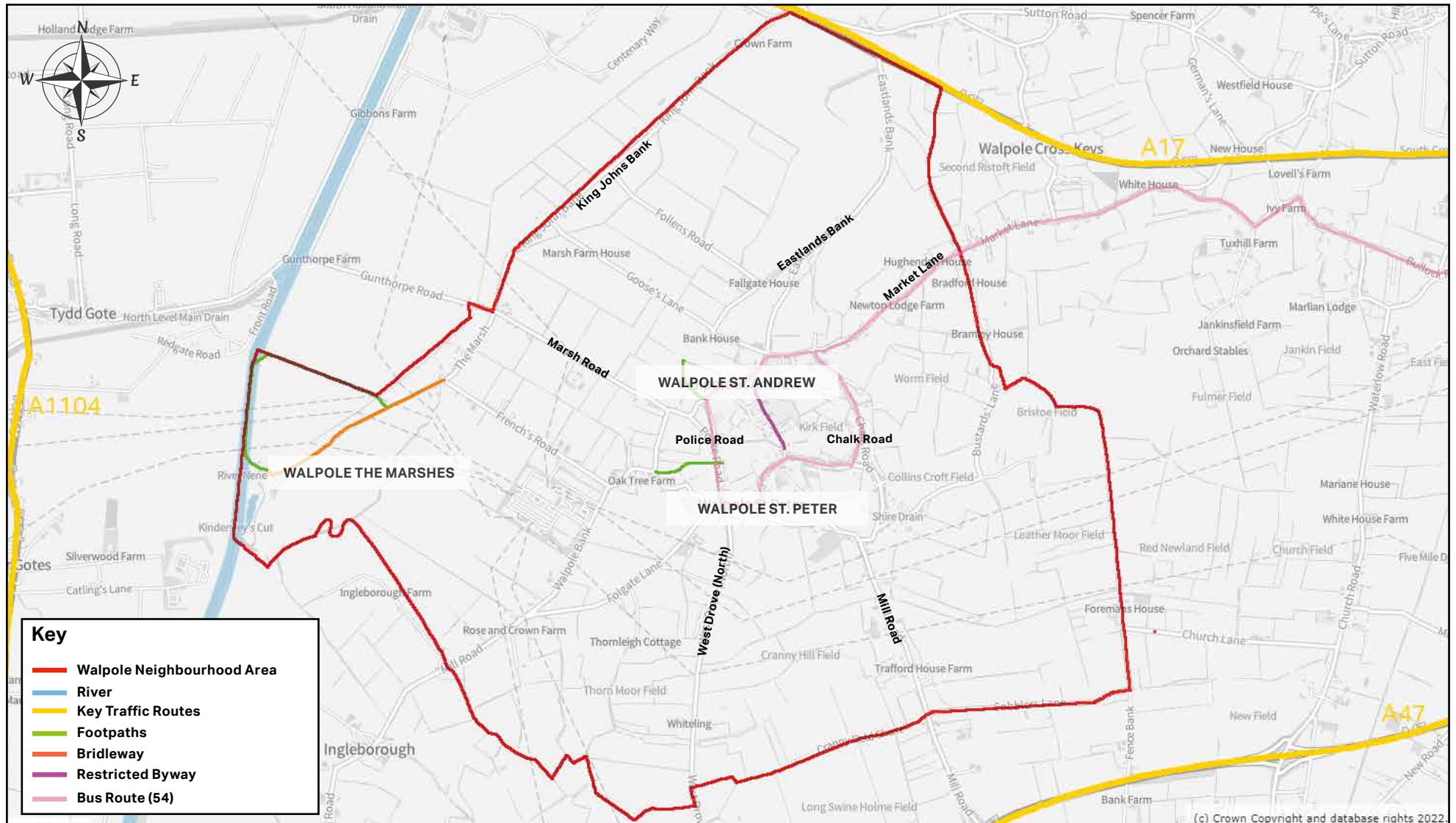
There is one bus service - the 54 which follows a route around the loop of Walpole St. Andrew and St. Peter but does not stop at Walpole Marsh making this area isolated for people without a private mode of transport.

The Neighbourhood Area has few amenities to meet the day to day needs of local residents. It has a primary school, and a parish hall which has planning permission to be rebuilt, a community centre and the use of the 'Swingfield' a green space attached to Walpole St. Andrews Church. The main social hub of Samuels Family Farm Shop complex in neighbouring Walpole Cross Keys is used by the residents of the Neighbourhood Area. However, residents have to rely on the neighbouring village of Terrington St. Clement for a convenience store and the towns of Kings Lynn and Wisbech to gain access to a wider range of amenities.

There are few employment opportunities in the Neighbourhood Area resulting in people traveling to work outside the Neighbourhood Area. A scrap dealer is located on Marsh Road and Just Jades Tearoom on Market Lane. On Chalk Road there is the tourist attraction of Walpole Water Gardens.

A large part of the Neighbourhood Area is open countryside, it is a large-scale, low-lying landscape with panoramic views in all directions, occasionally framed by mixed shelter belts and occasional orchards (which add to sense of place) scattered throughout the area. Large parts of the Neighbourhood Area are former salt marshes, mostly drained only during the last two hundred years. Walpole suffers from flooding in some areas due to the low lying ground and is exacerbated by blocked ditches and dykes.

Walpole has 21 listed buildings.



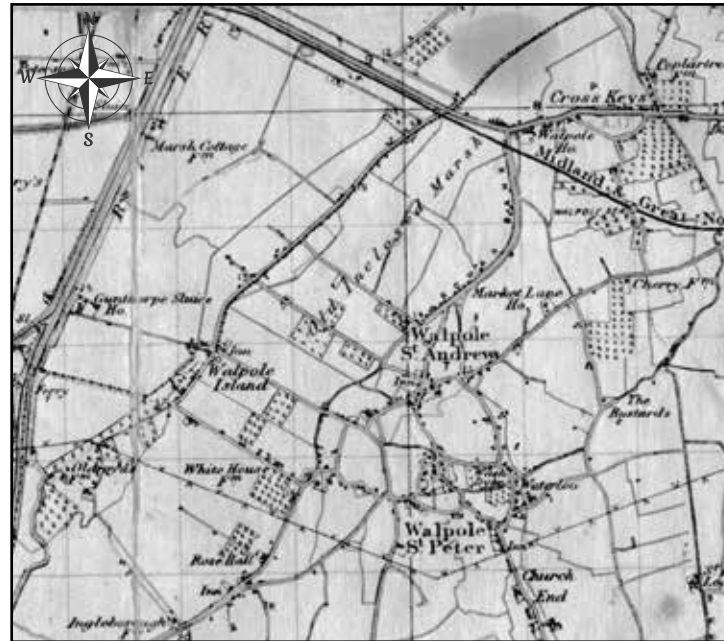
F.3: Location map of Walpole Neighbourhood Area, showing transport routes and footpaths. (Map © Crown 2022)

2.2 Historical Development

Walpole has a rich history which stretches back to the Romans, who built the massive earthen sea wall which is still called Roman Bank. Until the installation of the 1st Sutton Bridge, in 1821, Roman Bank provided the only route from north Norfolk into Lincolnshire. Some say that King John lost his treasure in Walpole, in 1216, whilst journeying from King's Lynn to Newark. The 13th Century church at Walpole St. Peter is known as the 'Cathedral of the Fens'. The altar end is raised up to go over an ancient footpath known as 'The Chase'. This footpath links Walpole St. Peter with Walpole St. Andrew and is know locally as 'the bolthole'. Housing sits on one side of the footpath and the Anthony Curton Primary School on the other side.

Arable farming is the historic land use of Walpole, with much of the land originally orchards. Most of the villagers were employed to work the land.

The landscape has under gone much change over the past 100 years with many of the orchards cleared and the land used for industrial farming of cereal and sugar beet. This has seen the introduction of industrial sized farm buildings to the area.



F.4



F.6

Figure 4: Map of Walpole Neighbourhood Area showing the original village pattern. (Map © Cassini 2022)

Figure 5: Wally Cuttings Petrol Station 1980's.

(Photo © Irene Hunter 2022)

Figure 6: Hughenden House.

(Photo © Walpole Parish Council 2022)

Figure 7: New build stands on the plot of the original Hughenden House. (Photo © Irene Hunter 2022)



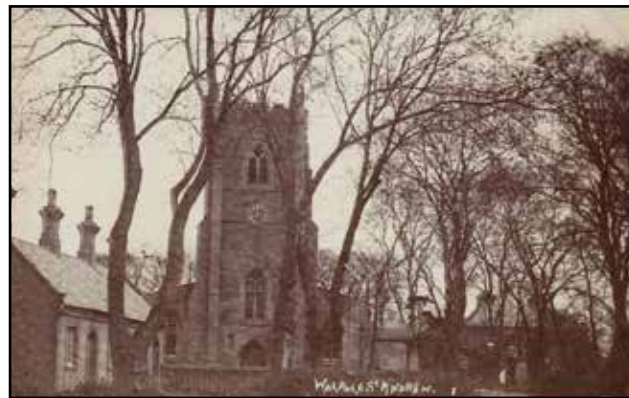
F.5



F.7



F.8



F.10



F.12



F.9

Figure 8: The old Post Office 1980's.
(Photo © Irene Hunter 2022)

Figure 9: The old Post Office is now a semi detached residence viewed from Cherry Tree Farm with a new build in the old yard.
(Photo © Irene Hunter 2022)



F.11

Figure 10: St Andrews Church 1940's.
(Photo © Walpole Parish Council 2022)

Figure 11: St Andrews Church 2022.
(Photo © Irene Hunter 2022)

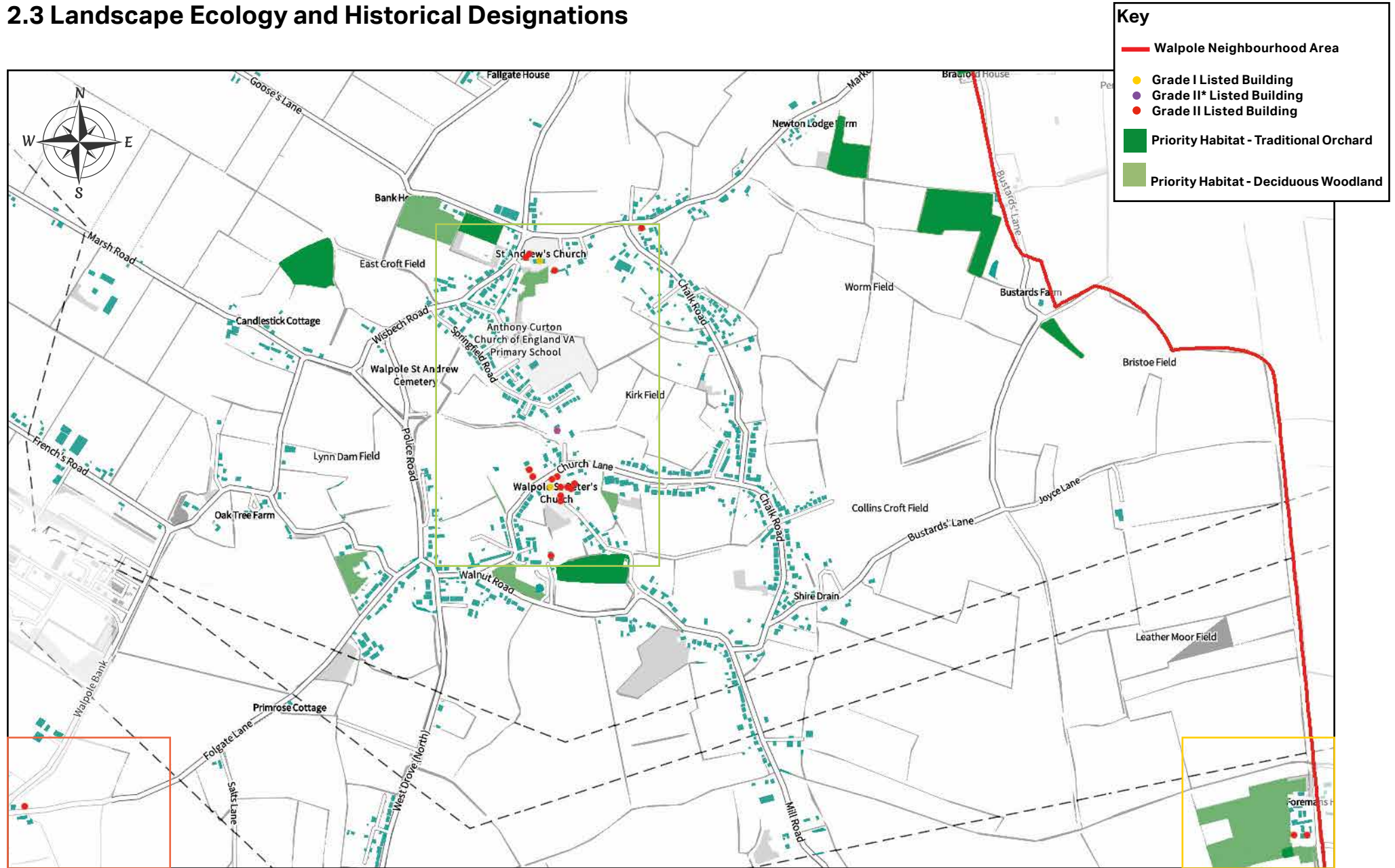


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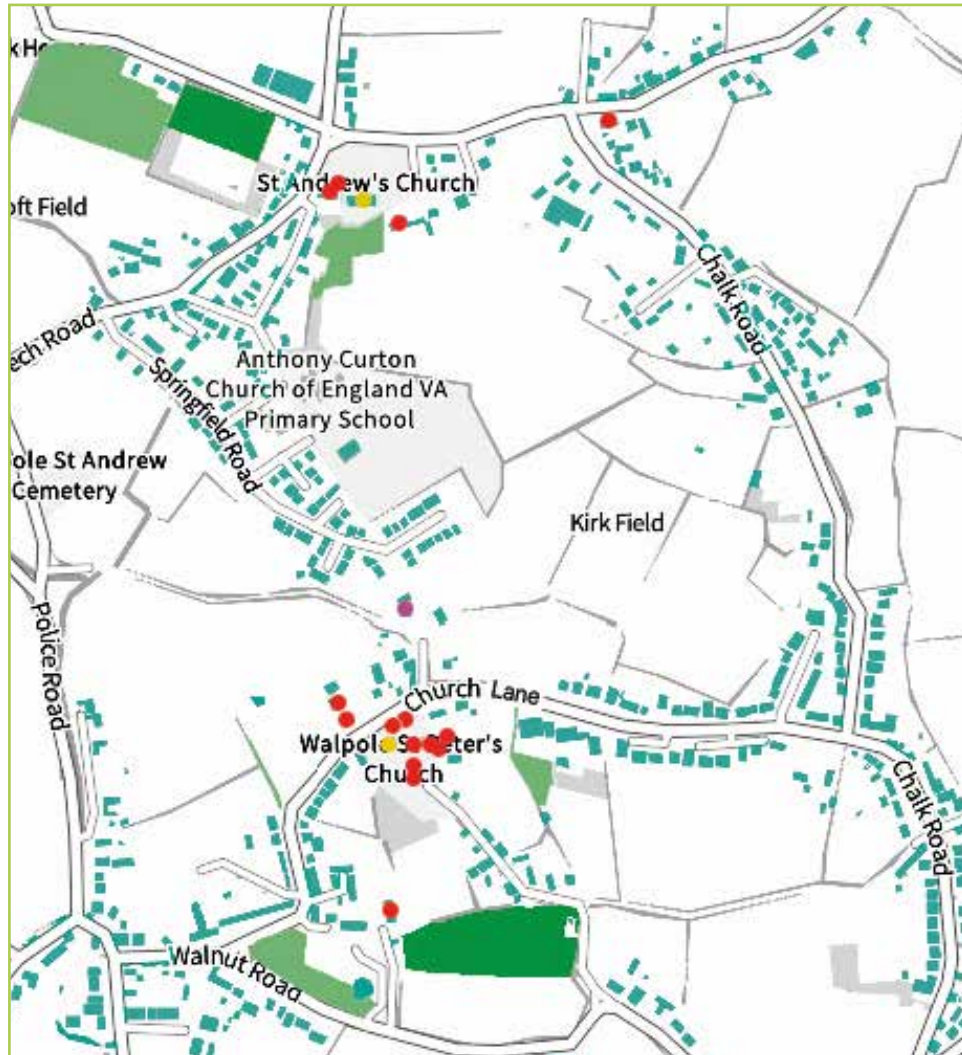
Figure 12: Old car showroom. (Photo © Irene Hunter 2022)

Figure 13: White House - Wally Cuttings House - The two new builds on the plot of the old car showroom.
(Photo © Irene Hunter 2022)

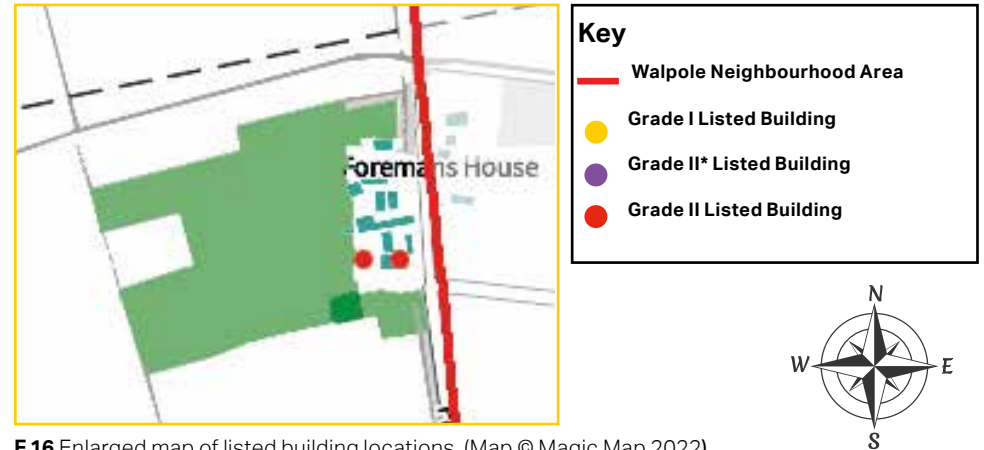
2.3 Landscape Ecology and Historical Designations



F.14 : Location map of Historical and Ecological Designations. (Map © Magic Map 2022)



F.15 : Enlarged map of listed building locations. (Map © Magic Map 2022)



F.16 Enlarged map of listed building locations. (Map © Magic Map 2022)



F.17 Enlarged map of listed building location. (Map © Magic Map 2022)

There are no landscape designations in the Walpole Neighbourhood Area. However, there are 21 listed buildings including both St. Peter's and St. Andrew's Churches which are Grade I. There are two types of Priority Habitat, Traditional Orchards and Deciduous Woodland. These can be found mainly within the centre of the Neighbourhood Area and along its boundary.



F.18 **F.19** **F.20** **F.21** **F.22**

Five species of farmland birds classed as rare or declining in population by the The Bird Conservation Targeting Project (BCTP) are also identified within the area:

Turtle Dove; Tree Sparrow; Grey Partridge; Corn Bunting and Yellow Wagtail.

Figure 18: Tree Sparrow. (Photo © Adobe Stock 2022)

Figure 19: Yellow Wagtail. (Photo © Adobe Stock 2022)

Figure 20: Turtle Dove.(Photo © Adobe Stock 2022)

Figure 21: Grey Partridge. (Photo © Adobe Stock 2022)

Figure 22: Corn Bunting. (Photo © Adobe Stock 2022)

Figure 23: St. Andrew's Church. (Photo © AECOM 2022)

Figure 24: St. Peter's Church. (Photo © AECOM 2022)



F.23



F.24

Character Assessment

03



3. Character Assessment

3.1 Introduction

This section outlines the broad physical, historical and contextual characteristics of The Walpole Neighbourhood Area. Character assessment is used to describe and articulate what is special and distinctive about a place in order to provide a context for the Design Code. It is used to identify recognisable patterns of elements or characteristics that make one place different from another. The features introduced in this section are later used to inform the Design Codes.

3.2 Existing Character Assessments

The following published character assessments, are relevant to Walpole Neighbourhood Area:

- Kings Lynn and West Norfolk Landscape Character Assessment, March 2007
- National Character Area (NCA) 46: The Fens (NE424), Natural England 2014.

Key Characteristics in these documents of relevance to the Neighbourhood Area are:

- A large-scale, flat man-made arable landscape with open, panoramic views interrupted only by the linear settlements, the occasional shelter belt.
- Earthworks in the form of rivers and creek embankments bring topographic change and strong, straight lines of contrast to the field edges.
- An intensively farmed arable landscape comprising of geometric fields divided by straight drainage channels and dykes varying in size with small units defining settlement edges.
- Fruit orchards with rectangular plots ordered into rows which were a typical feature are declining.

- Buildings and storage associated with horticulture and food production industries, as well as power stations, pumping stations and sluices, provide visible human-built elements.
- Well served by a network of rural roads that follow an irregular path. With ribbon development on either side of the roads.



F.25

Figure 25: Open views across the Fenland. (Photo © AECOM 2022)



F.26



F.27



F.28



F.29



F.30



F.31

Figure 26: Linear row of orchard trees on Walnut Road.
(Photo © Google Earth 2022)

Figure 27: Traditional agricultural building. (Photo © AECOM 2022)

Figure 28: Modern farm building. (Photo © Google Earth 2022)

Figure 29: Sutton Bridge Power Station. (Photo © AECOM 2022)

Figure 30: Pylons and Wind Turbine. (Photo © AECOM 2022)

Figure 31: Irregular road pattern with ribbon development.
(Photo © AECOM 2022)

3.3 Settlement Pattern

The Walpole Neighbourhood Area is dominated by arable farmland. Medium to large fields with the occasional hedgerows, copses and tree belts create a simple landscape pattern.

The Walpole Neighbourhood Area is designated a Rural Village by the King's Lynn and West Norfolk District Council's Core Strategy (2011). This is made up of Walpole St. Peter, Walpole St. Andrew, and Walpole Marsh, they are grouped together in the Core Strategy due to the shared services between the settlements and the close functional relationship. Both St. Peter and St. Andrew settlement pattern radiates out from the nucleus of the churches whereas, The Marshes has retained its historic linear development pattern, focused along The Marsh, and French Road. Primarily buildings are located on the north west side of The Marsh and are surrounded by arable farmland. The French Road has a small concentration of buildings to the north eastern side with the odd isolated farm settlement inbetween. Both St. Peter and St. Andrew have a mix of older dwellings centered around the churches with new builds appearing as linear developments predominately along Church Lane, Walnut Road, Mill Road and Chalk Road. Springfield Estate was built in the 1970's and abuts the primary school.

The character of the village is a mix of building styles and types, generally one to two storey. The recent developments follow there own style in materials and proportions which can look disjointed. Disproportionate larger individual developments on Walnut and Chalk Road are out of keeping of the original size and feel of the area. A slightly declining population within Walpole means there is a need for more suitable housing to cater for different age groups.

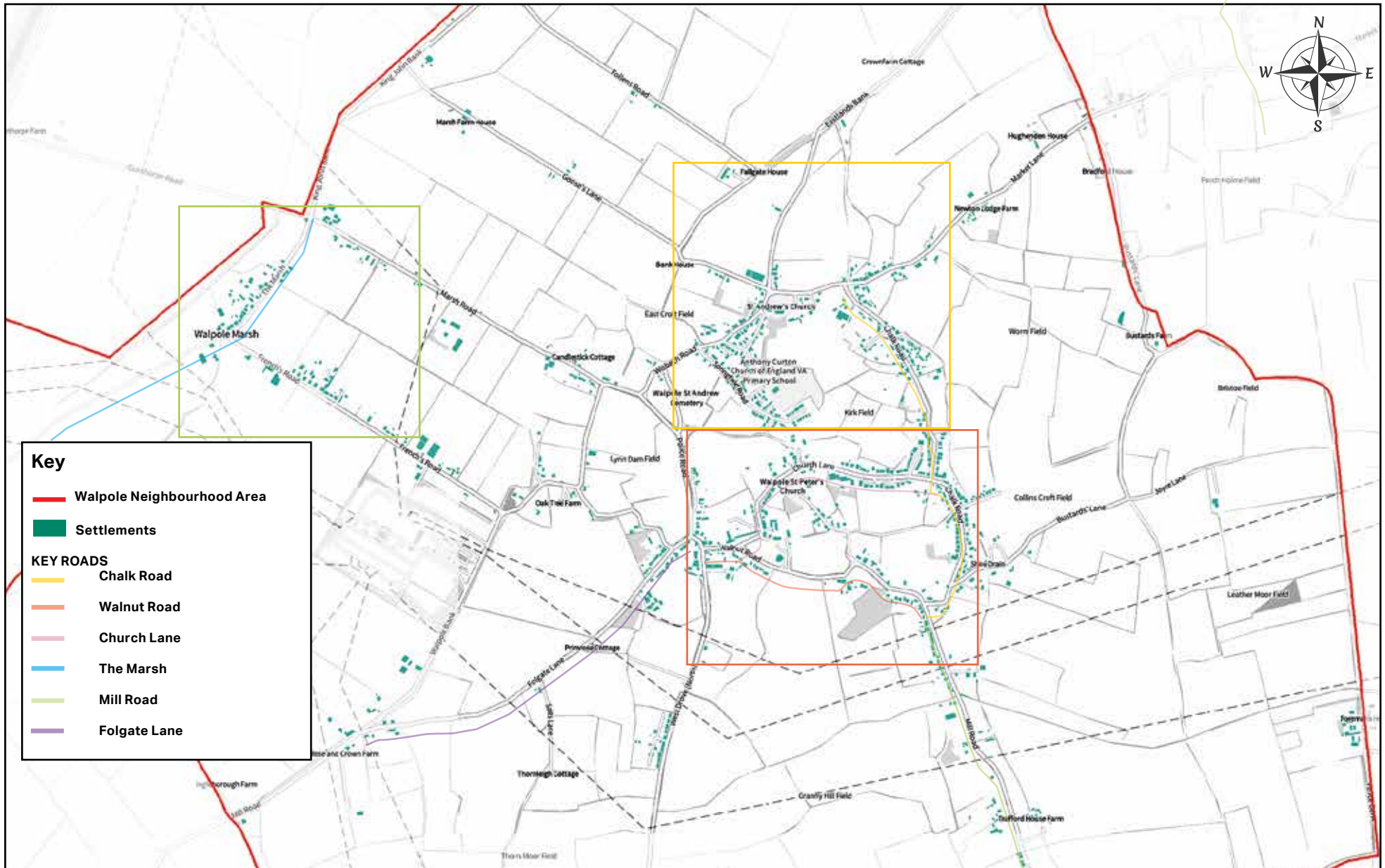
The landscape appears well settled, with the edge of the village, and isolated farms and houses visible in far-reaching views. Settlement is predominantly found aligning primary roads with the village presenting a settlement pattern of a core nucleus of building and more ribbon development towards the fringes.



Figure 32: Aerial view of Walpole neighbourhood area.

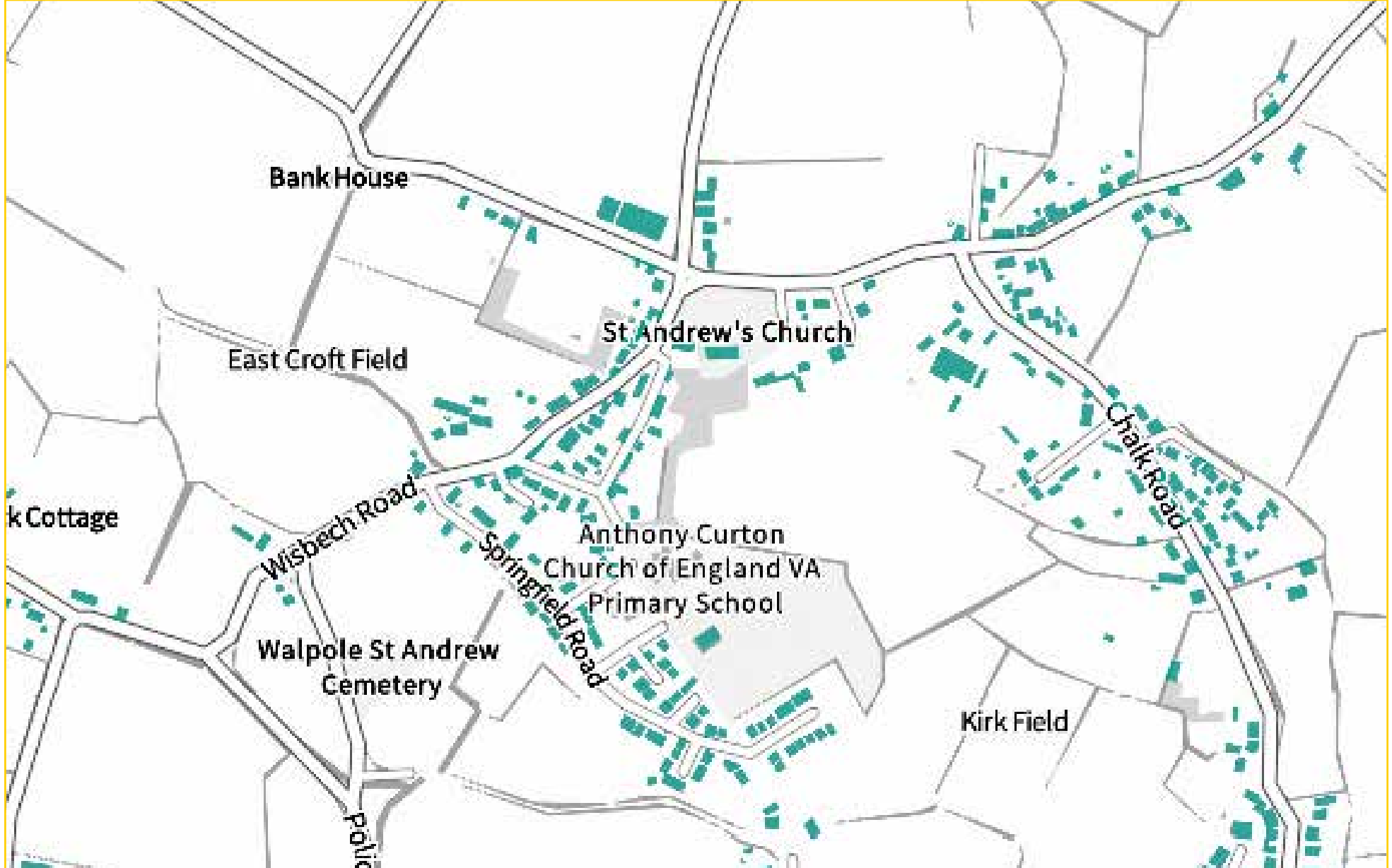
(Photo © Google Earth 2022)

Settlement Pattern



F.33: Settlement pattern of Walpole. (Map © Magic Map 2022)

WALPOLE ST. ANDREW



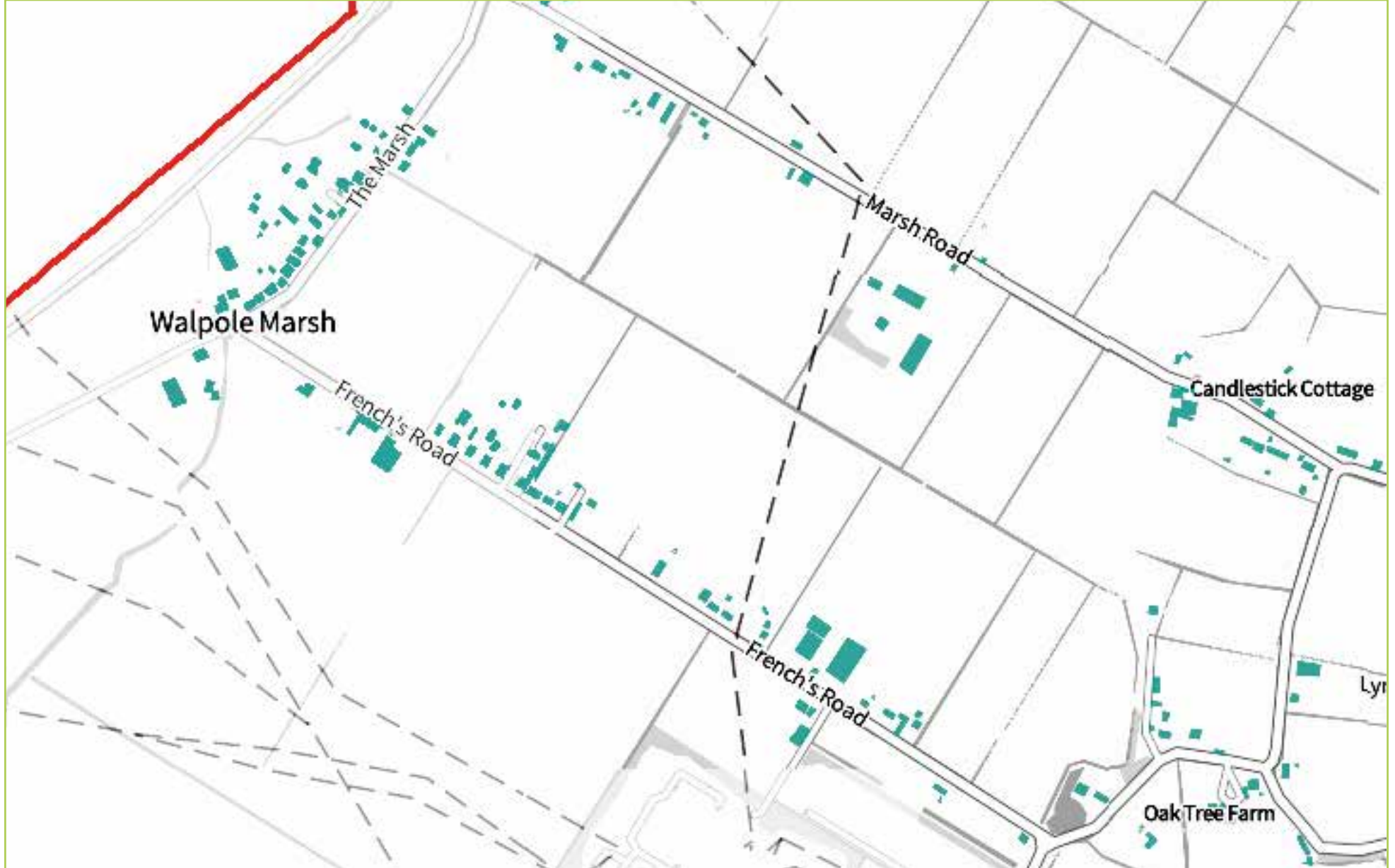
F.34: Settlement pattern of Walpole St. Andrew. (Map © Magic Map 2022)

WALPOLE ST. PETER



F.35: Settlement pattern of Walpole St. Peter. (Map © Magic Map 2022)

WALPOLE THE MARSH



F.36: Settlement pattern of Walpole the Marsh. (Map © Magic Map 2022)

3.4 Building Line and Roof Treatments



F.37



F.38

Figure 37: Inconsistent roof line height on older dwellings to the newer development.

(Photo © Google Earth 2022)

Figure 38: Consistent roof line height of new builds on Church Lane. (Photo © AECOM 2022)

Figure 39: Property that has been extended to create more living space.

(Photo © Google Earth 2022)

Properties are either one or two storey within the Neighbourhood Area. The roof line along Church Lane is a consistent height with an agricultural look to the new builds, which are considered a good example of recent development. These new two storey properties have both a garage and space for off road parking to the front of the properties with planted swales offering screening. No buildings exceed two storey within the Neighbourhood Area however, the larger individual properties often appear taller which appears out of keeping with the adjacent roof line.

There are many historically significant properties within the Neighbourhood Area many of which have distinctive roof lines with unique decorative features. Ornate chimney stacks and red pantiles a common attribute contribute to the historic character of the village. The design choice of either grey slate or red pantile roofs will help integrate the new developments into the village and are in keeping with the local character.

There is a shortage of 'Lifetime' homes within the Neighbourhood Area. These are homes that are flexible and adaptable to changing needs such as wheelchair access, addition or removal of internal walls or extensions.



F.39

3.5 Architectural Details and Colour



F.40: Brick built porch with pantiled roof.
(Photo © Google Earth 2022)



F.41: Covered porch on period property.
(Photo © Google Earth 2022)



F.42: Render and half-timbered styling on cottage.
(Photo © Google Earth 2022)

Covered porches are a key feature within the Neighbourhood Area with varying styles appearing on both old and new buildings. Doors vary depending on the period of the property ranging from traditional wooden to uPVC with glass detailing on the newer properties.

Sash and casement windows are the predominant window type throughout the Neighbourhood Area, particularly in older properties. Window styles vary in size and shape per property, with an individual property often showcasing multiple sizes and shapes of windows. In older buildings, original joinery and historic glass, along with timber window casings contribute to the local rural character. Many properties old and new have dormer detailing.

On older properties dormers have been added throughout the years, and vary in style and roof pitch between buildings.

In newer developments or renovations, casement windows are also the typical choice, along with skylight roof windows.



F.43: Traditional leaded windows.
(Photo © AECOM 2022)



F.44: Dormer windows.
(Photo © AECOM 2022)



F.45: Georgian house with sash windows.
(Photo © Google Earth 2022)

Colour Palette

A rich palette of colours is present on building facades demonstrating a range of materials and a diverse character. Warm tones of orange, red and brown relate to the building materials and roofs. Other hues and tones of stone, cream and beige relate to the range of colours present in the render and window casings. This range of colours is appropriate for Walpole Neighbourhood Area appearing in the existing housing and in residents provided by new development which is considered in character with the Neighbourhood Area.



F.46: Grade II listed building on Folgate Lane. (Photo © Google Earth 2022)

3.6 Building Materials

The Neighbourhood Area comprises of a variety of building forms, architectural detailing and materials. Several buildings within the Neighbourhood Area are statutory listed heritage assets including both the churches of St. Peter and St. Andrew.

Built form in the Neighbourhood Area consists of a range of materials. Red and white brick is typical and used throughout the dwellings. Prominent buildings such as St. Andrew's Church, and St. Peter's Church are built from stone. There are also rare and historic examples of red brick used in the walls surrounding St. Peter's Church and within the cemetery. Increasingly coloured render is a finish of choice on the new build properties along with concrete, wood and glass reflecting changing architectural materials fashion.



F.47: Mix of Red brick and white brick on the Alms Houses adjacent to St. Andrew's Church. (Photo © AECOM 2022)



F.48: Red brick detailing on wall. (Photo © AECOM 2022)



F.49: Weather boarding and two coloured roof treatments. (Photo © AECOM 2022)



F.50: Pantiles and red brick. (Photo © AECOM 2022)



F.51: Historic wall with curved capping surrounding St. Peter's Church. (Photo © AECOM 2022)



F.52: Mix of coloured brick on new builds. (Photo © AECOM 2022)



F.53: Houses on Springfield Estate with hedging used as boundary. (Photo © AECOM 2022)

3.7 Boundary Treatments

Boundary treatment is varied with houses often set behind low hedges and front gardens. Gaps in the hedges provide access to the properties and driveways, these are occasionally marked by wooden gates. The hedges are generally well-maintained at an approximate height of between 1-1.2m.

Other boundary features include wooden fences some with wooden gates defining the property entrance. Some wooden fences are standalone, and others are coupled with a hedge.

There are examples of recent development along Church Lane which use a mix of a hedge and fencing to mark the boundary to the property with SuDS drainage swales defining the boundary from the front of the dwellings to the road. These characteristics contribute to a large proportion of the new builds undertaken within the Neighbourhood Area and have been done sensitively, in keeping with the local vernacular and character landscape.



F.54: Varied treatments, brick, hedge and an open boundary. (Photo © AECOM 2022)



Figure 55: New builds with open swale marking the boundary. (Photo © AECOM 2022)



F.56: Property with wooden gate and red brick boundary. (Photo © AECOM 2022)



F.57: Example of on plot parking shielded by fencing with no vegetation. (Photo © Google Earth 2022)



F.58: Example of cramped on plot parking with no screening. (Photo © Google Earth 2022)

3.8 Parking and Utilities

On-plot parking is common within new development as there is limited opportunities for on-street parking in the Neighbourhood Area.

Fencing has been used in some new development to screen parked cars. A vegetated screen would be more acceptable.

Flooding is an issue within the Neighbourhood Area due to the low lying ground and rain water run-off from hard standing surfaces.



F.59: New build with vegetation used for screening. (Photo © AECOM 2022).

3.9 Preserving and Enhancing Views

Long distance views across the Fens are characteristic, interrupted by the occasional wind turbine and pylon. Vegetation along some of the local field boundaries also interrupt the long distance views. The open views of the countryside can be experienced intermittently throughout the Neighbourhood Area creating a strong visual connection to the rural setting of the village for example the views from Church Lane across open fields to the Springfield estate. The new development on Church Lane has been spaced to retain views of the wider landscape between each pair of detached properties.



Figure 60: Springfield Estate from Church Lane across the fields. (Photo © Google Earth 2022)

3.10 Community Space and Green Infrastructure

Public green spaces within Walpole Neighbourhood Area consist of 'The Swingfields' besides St. Andrew's Church managed by the church for residents to use as recreation space. The friends of Walpole St. Andrew's Church organise regular events that are held on this green space and the church is open daily with hot drinks served every Wednesday and the first Saturday of every month. Services are no longer held at St. Andrew's Church however, worship is held at Walpole St. Peter.

The community centre also has a large playing field and children's play area. The parish hall, which has planning permission granted for a rebuild is in the process of raising funds but currently is well used by the residents for numerous activities and club meetings.



F.61: Community centre. (Photo © AECOM 2022).



F.62: Swingfields. (Photo © AECOM 2022).



F.63: Children's play area. (Photo © AECOM 2022).



F.64: Parish hall. (Photo © AECOM 2022).

Visitors are attracted to the village to visit Walpole Water Gardens. There is also a tearoom, Just Jade's Tearoom located in Walpole St. Andrew and Samuels Farm Shop complex is in the neighbouring village of Walpole Cross Keys.

The bridleway and designated footpaths that run off Police Road and around the Walpole the Marsh, are of significance to the village allowing access to the wider landscape and forming a key part of the landscape pattern and important wildlife corridors. Many of the houses have front gardens which contribute to the streetscape and overall green appearance of the Neighbourhood Area.

Figure 65: Samuels farm shop. (Photo © AECOM 2022)

Figure 66: Walpole water gardens. (Photo © Christine W. 2022)

Figure 67: Front garden contributing to the green appearance of the village. (Photo © Google Earth 2022)



F.66



F.65



F.67



Design Codes

04

4. Design Codes

4.1 Introduction

This section sets out the principles that will influence the design of potential new development and inform the retrofit of existing properties in the Neighbourhood Area. Where possible, local images are used to exemplify the Design Codes.

The Design Codes in this section should be applied as a starting point to all new development in the Neighbourhood Area. These Codes advocate character-led design which responds to and enhances the landscape character. Reference to context does not mean to copy or use imitation solutions rather it means to respond to what is around as inspiration. It could be that a contemporary solution in harmony with its surroundings is as appropriate as one using traditional building materials and techniques.

It is important that full account is taken of the local context and that any new development responds to and enhances the 'sense of place' and meets the aspirations of people already living in that area. The aim of this section is to produce Design Codes that help in assessing design quality and appropriateness in new development proposals. Images have been used to reflect good examples of local design quality.

The Design Codes are set out for the unique characteristics of the Neighbourhood Area. The Design Codes developed in this document focus mainly on residential development, considering the character of the immediate neighbouring buildings and the landscape of the surrounding area. The local pattern of streets and spaces, building traditions, materials and the natural environment should all help to determine the character and identity of new development, whilst recognising that new building technologies can deliver acceptable built forms and may sometimes be more relevant.

Key to this document are the aspirations of the community to integrate all proposed new development from conception to construction into the existing village. In all cases development should seek to strive beyond current published guidance to propose the very best design solutions to align with the ambitions of the community and positively contribute towards the meaningful movement towards providing a safe, attractive and cohesive environment.



Figure 68: Rural view of field framed by the gate.

(Photo © AECOM 2022)

Design Code 1: Settlement Pattern

- All new development should respect the historic settlement patterns and scattered farmsteads.
- Infill development is preferred, however where single row housing occurs, space should be retained between properties to maintain views of the countryside beyond. New housing to be appropriately located in the central built up areas of Walpole St. Andrew and St. Peter were possible to avoid further spread of the built up area.
- New housing developments should provide a range of house sizes including smaller 1 and 2 bedroom dwellings.
- Agricultural buildings that have change of use to new dwelling houses should retain their rural local character as not to diminish the sense of place within the area.
- All historical buildings are to be respected and any new adjacent development must be sympathetic to the historic setting.
- All public rights of way used by the residents should be retained and improved as part of new development proposals.



F.69

Figure 69: Linear new build development on Hill Farm Lane. (Photo © Google Earth 2022)

Figure 70: Springfield Estate. (Photo © AECOM 2022)



F.70

Design Code 2: Building Line and Roof Treatments

- Height of new development should respond to adjacent buildings and generally should be no higher than two storey.
- Roof features such as dormer windows, with barge-boards and chimney stacks should be considered to reflect and enhance the character of the area.
- Extensions should be appropriate in terms of mass and scale. Variations in roof plane in terms of angle of pitch/ roof style and dormer additions are considered positively when reflecting those of the character area. However, extensions should have a clear cohesion with the original building regardless of variations in design.



F.71



F.72

Figure 71: Varying roof heights on older property that has additions. (Photo © Google Earth 2022)

Figure 72: Older property displaying feature gable end. (Photo © AECOM 2022)

Figure 73: Detached house with ornate chimneys. (Photo © AECOM 2022)



F.73

Design Code 3: Architectural Details and Colour

- Development should use similar design language, materials and detailing as other buildings within the Neighbourhood Area to integrate with the surrounding area.
- Listed buildings and structures, and their settings, should be preserved and enhanced. Designated and non-designated heritage assets should also be a consideration in the setting and design of new buildings.
- Architectural detailing in development proposals should respect adjacent buildings and the character of the Neighbourhood Area.
- New development should respond to the colour palette of both adjacent buildings and buildings within the wider Neighbourhood Area.
- The use of brightly coloured render should be resisted as it does not reflect the local character. Where render is an appropriate architectural finish, muted tones from the colour palette should be used.
- The use of inappropriate replacements, such as replacing timber sash windows with uPVC, should be resisted.



F74: Different facing treatments of brick and cream render. (Photo © Google Earth 2022)

Design Code 4: Building Materials

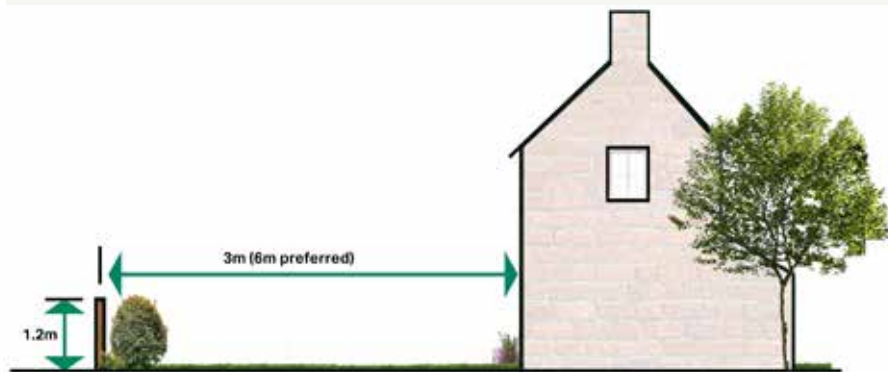
- Materials used in new developments should respect the local and regional character and adjacent buildings.
- The use of high quality slate tiles and red clay pantiles should be encouraged as the main roofing materials. Concrete tiles should be avoided.
- Materials for alterations and extensions should respond to the character and appearance of the host building and the surrounding area. There should be a clear cohesion with the original buildings despite variations in materials and design.
- The size of materials and construction methods contribute to the overall character of the building and local area. New development should reflect stone size and formation of existing buildings to retain historic character.
- Innovative, sustainable and creative material and design suggestions in new buildings and restorations should be encouraged when reflecting the local character in their form, scale and massing.



F.75: April Cottage a mix of render, beams and brick. (Photo © Google Earth 2022)

Design Code 5: Boundary Treatments

- All new houses should have a front garden of a minimum of 3m between the property boundary and the building. 6m is preferred.
- New development should use boundary features which allow for visual connections with the streets, are complementary to the streetscape and enhance the character of the village. The use of panel fencing in publicly visible boundaries should be avoided.
- Materials proposed for new boundary fences and walls should be of high quality, responding to the village character and have strong attention to architectural detailing.
- The maximum height of a hedge, wall or other boundary features should not exceed 1.2m.
- New development should follow a boundary line consistent with existing development and appropriate for the rural village setting.



F.76: Heights and distances for boundaries. (Graphic © AECOM 2022)

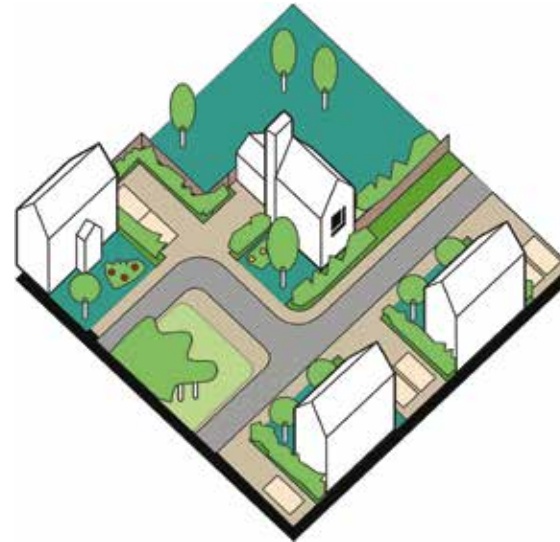


Figure 77: Diagram showing best practice boundary treatment. Hedges in front and to the sides of the houses. (Graphic © AECOM 2022)

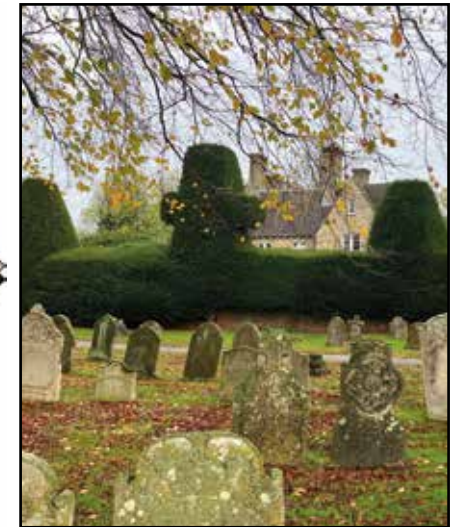


Figure 78: Topiary hedge boundary along the east side of the cemetery of St. Peter's Church. (Photo © AECOM 2022)



Figure 79: Hedge boundary complementing an older property. (Photo © Adobe Stock 2023)



Figure 80: Vegetation boundary working well in a modern development. (Photo © Adobe Stock 2023)

Design Code 6: Parking and Utilities

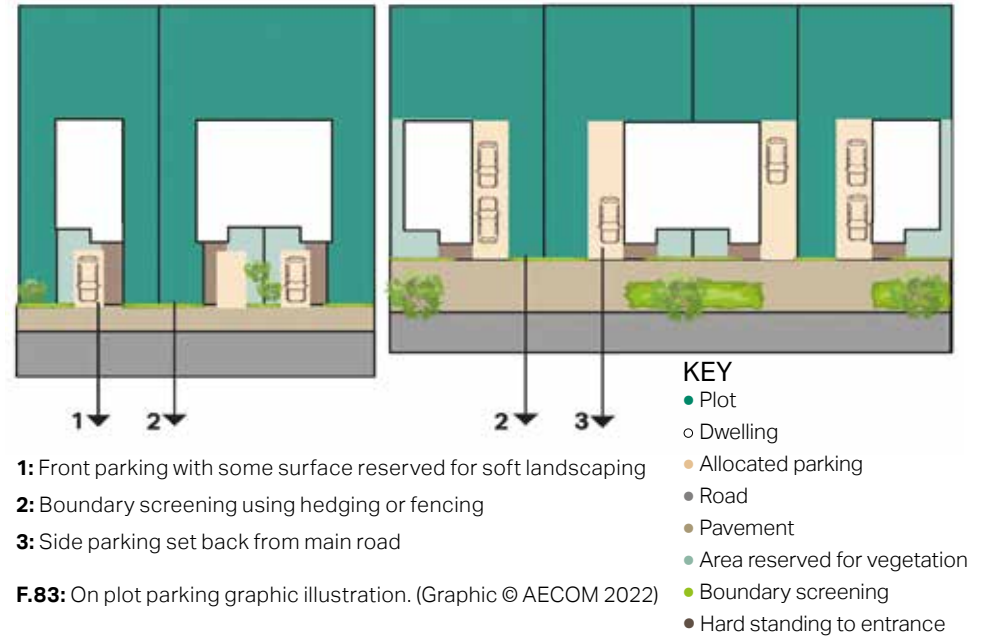
- All new development should provide on-plot side, front, garage, or courtyard parking.
- Parking areas and driveways should be designed with permeable paving so not to contribute to the existing flooding issues.
- When placing parking at the front, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials. The aim should be to keep a sense of enclosure and to avoid continuous areas of car parking in front of dwellings. This can be achieved by means of walls, hedging, planting, and the use of quality paving materials.



Figure 81: Example of side plot parking without screening.
(Photo © Google Earth 2022)



Figure 82: Example of front parking with screening.
(Photo © AECOM 2022)



- Where septic tanks, treatment plants and fuel tanks are necessary, these should be well-screened by vegetation and sensitively designed. Where possible these should be positioned in rear gardens to maintain the quality of the streetscape.
- Bins and bike stores should be stored in rear gardens where space allows or well-constructed bin-sheds to avoid unnecessary street clutter.
- Provision to be made for kerbside bin collection to provide easy access for removal, alongside waste separation and recycling where appropriate.
- The introduction of street lighting should be limited to within settlements and should be sensitive to local biodiversity whilst providing adequate safety.

Design Code 7: Preserving and Enhancing Views

- New development should seek to retain the long-distance views characteristic of the Neighbourhood Area.
- New development should not be visually intrusive. This should be achieved through appropriate scale and design, including screening where appropriate.



Figure 84: Far reaching rural views from Marsh Road. (Photo © Google Earth 2022)



Figure 85: Tightly packed row of houses blocking rural views from the road. (Photo © Adobe Stock 2022)



Figure 86: Respectful spacing between the housing maintains the views beyond. (Photo © AECOM 2022)

Design Code 8: Community Space and Green Infrastructure

- New development should provide sufficient green space appropriate to the location and size of the dwelling, including front and rear gardens and grass verges. Typically, no more than 50% of a dwelling's plot should be built on, a 'plot ratio' that reflects development patterns in the village and conforms with the National Model Design Code guidance for suburban and village locations (paragraph 52).
- Existing green spaces should be retained and enhanced.
- Existing trees and hedgerows should be retained in new development to help reinforce the existing pattern of vegetation.
- Character of footpaths and bridleways should be respected and reflect the rural character of the Neighbourhood Area.
- Materials used in the public realm should be of high quality and respond to, and enhance, the rural character of the settlements.

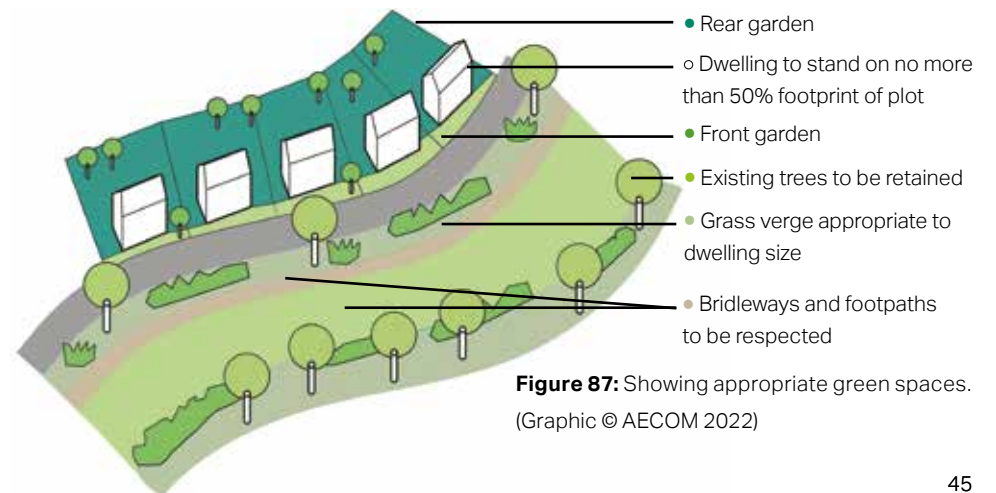


Figure 87: Showing appropriate green spaces. (Graphic © AECOM 2022)

Design Code 9: Water Management (SuDS)

- All new development should manage water as close to where it originates as possible by installing a Sustainable Urban Drainage system (SuDS) that captures, retains and absorbs water to reduce flood risk and improve water quality.
- New development should consider use of permeable surfaces including unbound gravel, clay pavers, or stone setts to increase capacity of the ground to absorb the runoff water and reduce risk of surface water flooding.
- New development should consider bioretention systems including soakaway and rain gardens along verges and in semi-natural green spaces to enable the water to infiltrate the ground and reduce runoff of water into the sewer system. Vegetation should be selected to sit cohesively within the surrounding landscape and reflect the character of the Neighbourhood Area.
- New development should consider rainwater harvesting options to capture and store rainwater as well as those enabling the reuse of on-site grey water.
- Conceal attenuation tanks by cladding or constructing them in complementary materials and siting them where possible in a non prominent location.
- Existing dykes and field ditches are to be respected and maintained to continue to assist with water management.



Figure 88: Example of open drainage channels.
(Photo © AECOM 2022)



Figure 89: Permeable paving.
(Photo © Adobe Stock 2022)

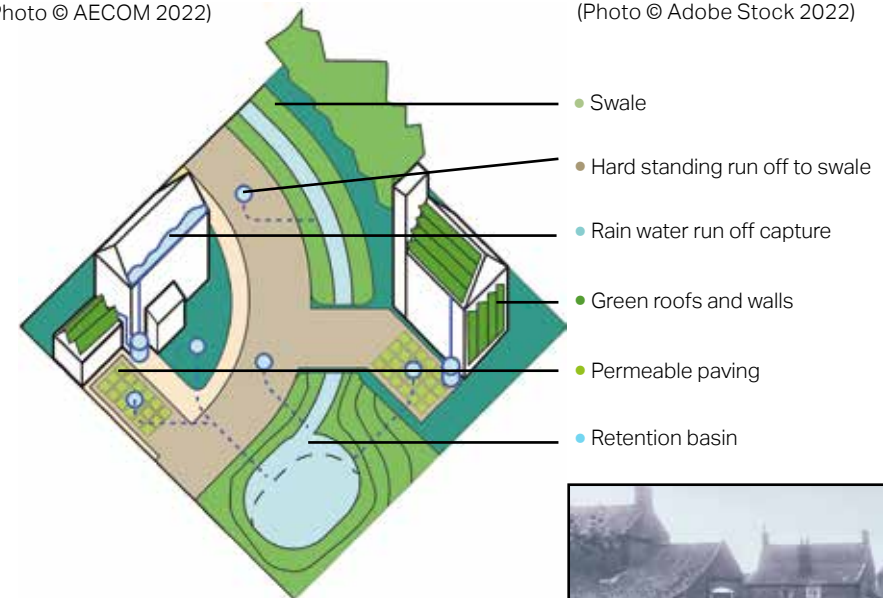


Figure 90: Diagram showing the best use of harvesting water systems rain garden, swales, permeable paving, green roofs. (Graphic © AECOM 2022)

Figure 91: Flooding Church End, Walpole St. Andrew 1912.
(Photo © Walpole Parish Council 2022)



Figure.91

Design Code 10: Sustainability

There is a number of energy efficient technologies that could be incorporated into buildings. The use of such principles and design tools is strongly encouraged to future proof buildings and avoid the necessity of retrofitting. The following are optional energy efficient technologies and measures which should be considered:

- Incorporate sustainable energy efficient measures into new development where possible. Wherever feasible, all buildings should be certified to a Passivhaus or equivalent standard.
 - Existing buildings being repurposed, refurbished or extended should also consult with Passivhaus guidance documentation and modeling tools to minimise energy usage.
 - Consideration should be given to how proposed energy infrastructure might affect local character or visual amenity. For example, solar panels are an effective renewable energy technology however can detract from the historic character of buildings and cause reflections which disrupt views. New developments should incorporate energy solutions at the design stage, using products which are discrete and mimic the colour and size local roof materials to minimise visual disturbance. The same principles must be applied for extensions and installing or replacing panels on existing buildings to avoid eroding the historic character of the area.
- New developments should seek to optimise hot water systems.
 - Developers should plan to re-use materials to reduce waste generated during construction.
 - Before work commences, the waste volumes to be generated and the recycling and disposal of the materials should be described.
 - On completion of the construction works, volumes of recycled content purchased, recycled and landfill materials should be collated.
 - New development should consider sustainability and carbon reduction at the forefront of material sourcing, operations and construction to ensure that materials are reused and repurposed where possible or sourced and implemented with sustainability and longevity in mind.
 - Disassembly of buildings should also be a key consideration of new development. Consideration of how elements could and should be reused or repurposed at the end of life of the structure should be considered at the design stage.

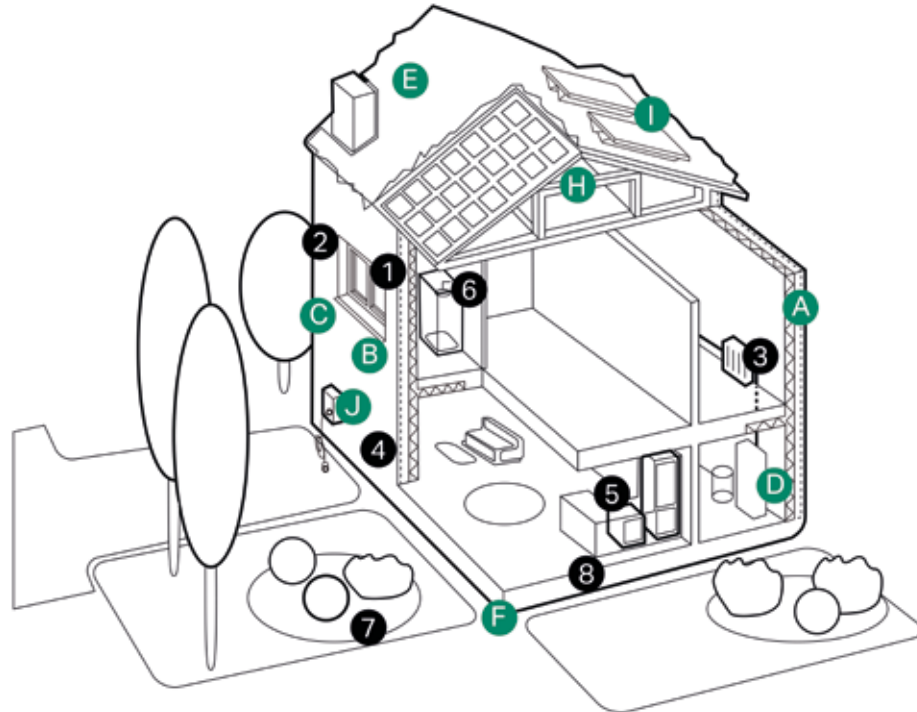


Figure 92: Illustration of potential energy efficient energy measures applied to housing design.
(Graphic © AECOM 2022)

Existing Homes

- 1 Insulation
- 2 Double or triple glazing with shading
- 3 Low-carbon heating
- 4 Drought proofing
- 5 Highly energy-efficient appliances
- 6 Highly waste-efficient devices
- 7 Green space
- 8 Flood resilience and resistance

New Build Homes

- A High levels of airtightness
- B More fresh air
- C Triple glazed windows and external shading
- D Low-carbon heating e.g. ground source heat pump
- E Green space
- F Water management and cooling
- G Flood resilience and resistance
- H Construction planning
- I Solar panel
- J Electric car charging point

Design Code 11: Lifetime and Adaptability

- Consideration for housing needs to be given to people at all stages in life. A mix of styles of property should be proposed and affordability should be a key consideration to maintain a range of households and encourage economically active people to the Neighbourhood Area.
- Future development should include a mix of uses relevant to the needs of the community, utilising opportunities to convert existing unused buildings within the Neighbourhood Area to foster a diverse demographic and consider needs at all stages in life.
- New residential properties should consider the lifetime of future occupants to enable people to continue to live in their home as their circumstances change. This includes providing buggy/ pram, cycle and wheelchair storage as an integral part of the building's design (not as a timber shelter/ sheds in gardens or communal areas). It means designing homes that can be accessed by those with disabilities (or could be sensitively adapted to provide such access in the future).
- Consideration should be given to how people will live and work in the future and new developments should reflect this (e.g. provision of live/work units, houses that incorporate space to work from home, multi-generational families).

New
Development
Checklist

05



5. New Development Checklist

5.1 Generals questions to ask and consider when presented with a development proposal

The Design Codes set out within this document cannot cover every eventuality, this section provides a number of questions based on established good practice against which any design proposal should be evaluated.

The aim is to assess all proposals by objectively answering the questions below. Not all the answers will apply to every development. The relevant ones, however, should provide an assessment as to whether the design proposal has taken into account the context and provided an adequate design solution.

As a first step there are a number of ideas or principles that should be present in all proposals. These are listed under “General Design Guidance for New Development.”

5.2 General Design Guidance for New Development:

- Harmonise and enhance existing settlement in terms of physical form, architecture and land use:
- Reflect, respect, and reinforce local architecture and historic distinctiveness;
- Retain and incorporate important existing features into the development;
- Provide adequate open space for the development in terms of both quantity and quality;
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours and;
- Ensure that places are designed with sensitive lighting and safety in mind.

5.3 Settlement Pattern:

- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the settlements?
- What effect would the proposal have on the streetscape?
- Does the proposal overlook any adjacent properties or gardens and how is this mitigated?

5.4 Preserving and Enhancing Green Space and Views:

- What are the particular characteristics of this area which have been taken into account in the design?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?
- Has the proposal been considered within its wider physical context?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?

5.5 Building Line, Boundaries, Materials and Detailing:

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?
- Does the proposed material harmonise with the local materials and do they respect or enhance the existing area or adversely change its character?
- Does the proposal use high-quality materials?
- Are recycled materials, or those with high recycled content proposed?
- Can the proposed materials be locally and/or responsibly sourced?
- Have the details of the windows, doors, eaves, porches and roof details been addressed in the context of the overall design and the character of the area?

5.6 Car Parking and Utilities:

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/ communal facility where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a biodiverse roof in its design?
- Has provision been made for refuse/recycling bins?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a biodiverse roof in its design?

5.7 Sustainability:

- If the proposal is a contemporary design, are the details and materials of a sufficiently high enough quality and does it relate specifically to the architectural characteristics and scale of the site?
- Is it possible to incorporate passive environmental design features such as larger roof overhangs, deeper window reveals and/or external louvres/shutters to provide shading in hotter months?
- Can the building designs utilise thermal mass to minimise heat transfer and provide free cooling?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?
- Can green space be used for natural flood prevention e.g. permeable landscaping, swales etc.?



Figure 93: Natural flood prevention, swale as part of a permeable landscape.

(Photo © AECOM 2022)



Figure 94: Natural flood prevention, green roof as part of a SuDS management system.

(Photo © Adobe Stock 2022)

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06

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Acknowledgments

This document has been written in collaboration with the Walpole Neighbourhood Steering Committee who have provided their extensive knowledge and time in the production of this document. Their support and engagement in the process has been integral to the final outcome.

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